

PROPOSED SITE PLANS

SITE REDEVELOPMENT

1439 W MICHIGAN AVE

CITY OF BATTLE CREEK, MI 49037

PROJECT NARRATIVE

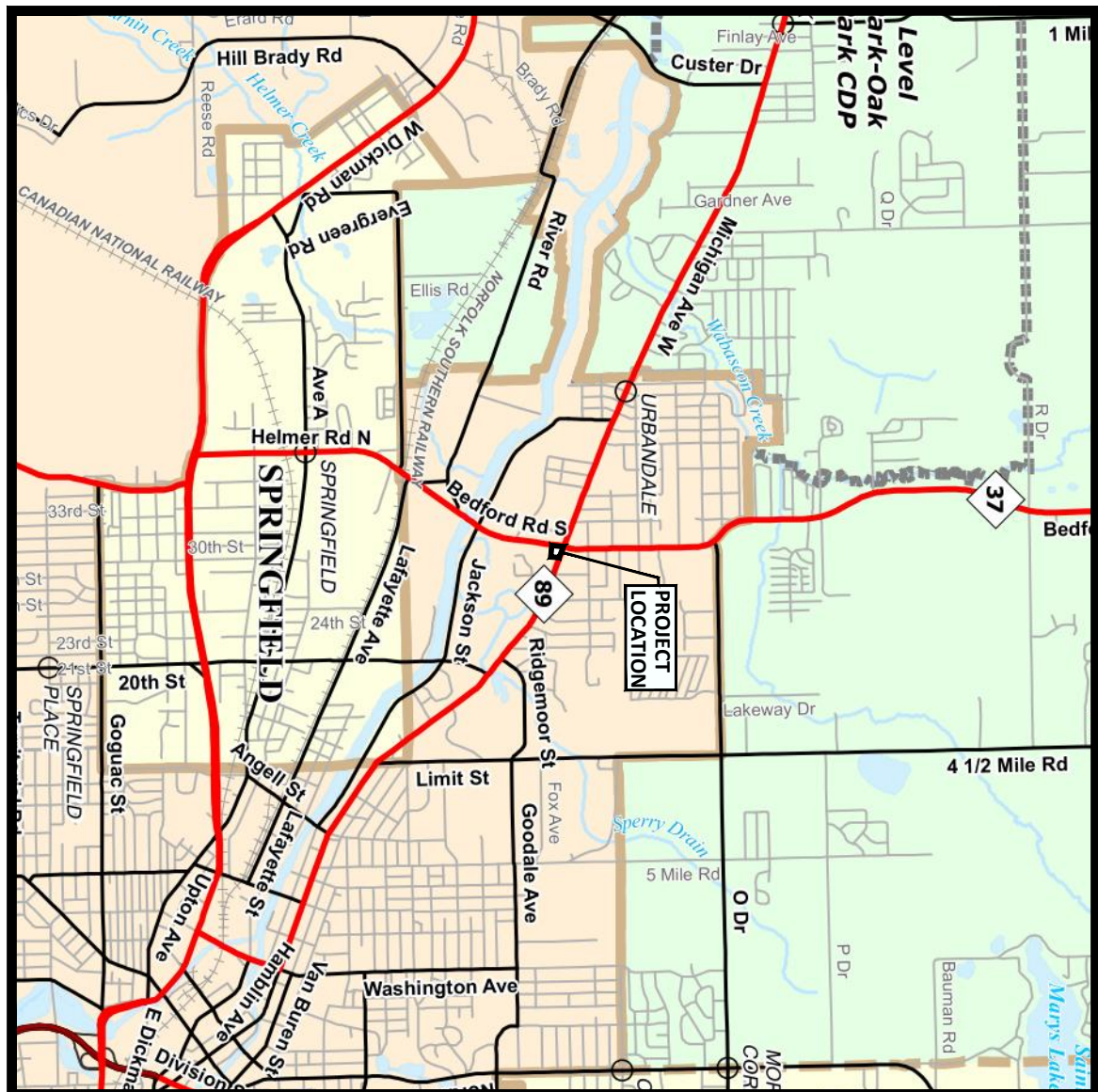
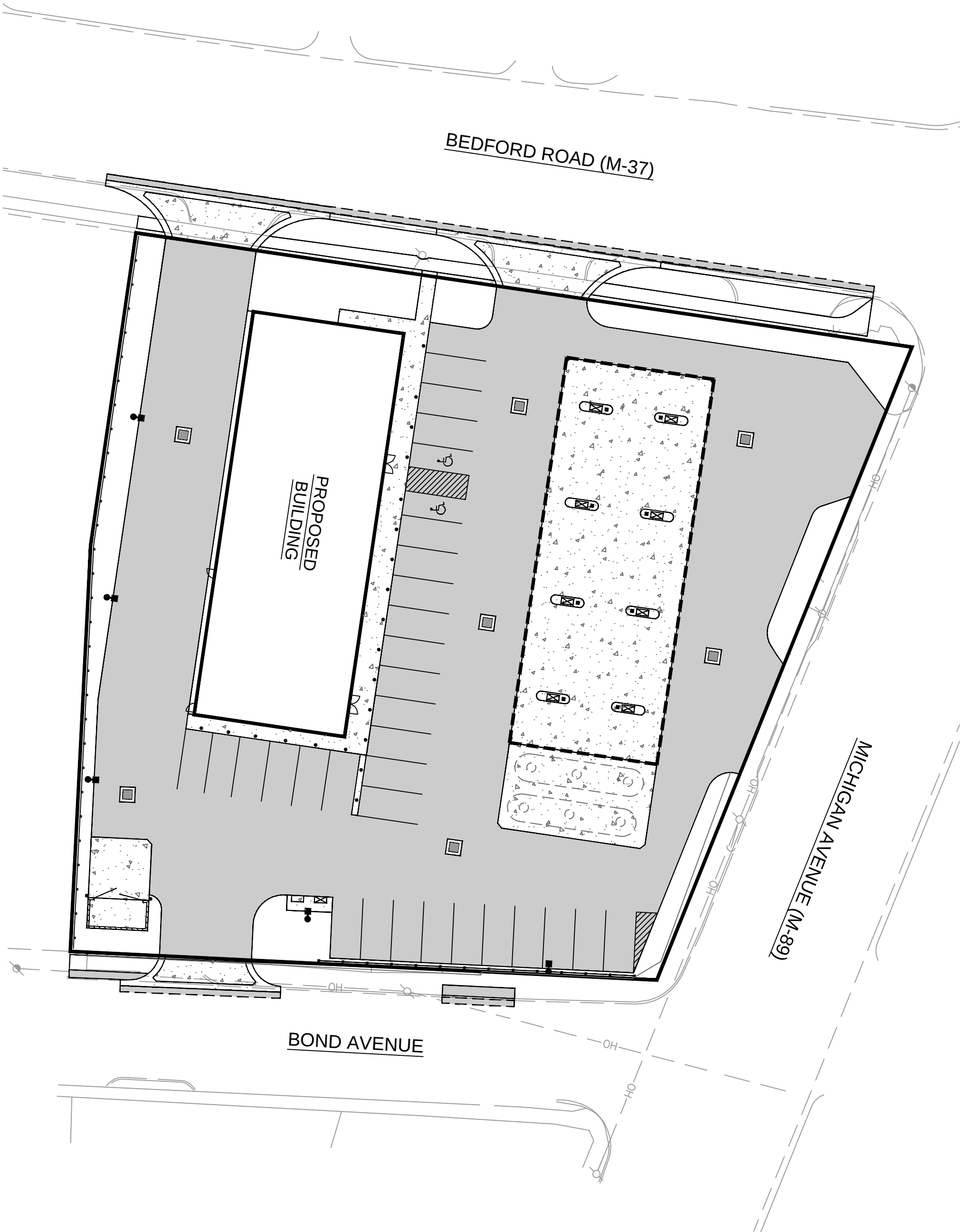
PROJECT DESCRIPTION
THIS SITE PLAN APPLICATION PROPOSES A CONVENIENCE STORE ON 1.19 ACRES OF LAND AT THE SOUTHEAST CORNER OF BEDFORD ROAD AND MICHIGAN AVENUE. THE PROJECT WILL INCLUDE REDEVELOPMENT OF EXISTING USES AT 1423 AND 1439 W MICHIGAN AVENUE. EXISTING FILLING STATION AND RESTAURANT BUILDINGS (TOTALING APPROXIMATELY 8,000 SFT) WILL BE REPLACED WITH A 6,350 SQUARE-FOOT STORE BUILDING.

STORMWATER MANAGEMENT
ON-SITE IMPERVIOUS AREA IS PROPOSED TO BE INCREASED BY 4,000 SQUARE-FOET. ON-SITE STORMWATER MANAGEMENT TO CONSIST OF A RUNOFF COLLECTION SYSTEM THAT OUTFALLS TO THE EXISTING STORM SEWER IN BOND AVENUE AND BEDFORD ROAD.

TRAFFIC CONTROL
CURB CUTS/APPROACHES ONTO BEDFORD ROAD WILL BE REDUCED FROM THREE (3) TO TWO (2). EXISTING APPROACHES ONTO MICHIGAN AVENUE TO BE RE-UTILIZED. CURB CUTS/APPROACHES ONTO BOND AVENUE WILL BE REDUCED FROM TWO (2) TO ONE (1).

GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
2. ALL EXISTING UTILITIES, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
3. CALL "MISS DIG" - 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
4. EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
5. CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES AND NEW CONSTRUCTION FROM DAMAGE.
6. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
7. CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF BATTLE CREEK, COOPERATED WITH THE CITY OF BATTLE CREEK.
9. CONTRACTOR SHALL MINIMIZE SOIL EROSION ONTO ADJOINING PROPERTY AND RIGHT OF WAYS.



VICINITY MAP
CITY OF BATTLE CREEK, MICHIGAN
NOSCALE

SHEET INDEX

- C-01 COVER SHEET
- C-02 SOIL EROSION CONTROL PLAN
- C-03 DEMOLITION PLAN
- C-04 LAYOUT PLAN
- C-05 PAVING & GRADING PLAN
- C-06 UTILITY PLAN
- C-07 LANDSCAPE PLAN

URBANDALE SHELL
SITE REDEVELOPMENT
1439 W MICHIGAN AVE, BATTLE CREEK, MI 49037

COVER SHEET



1305 South Washington, Suite 102, Lansing, MI 48910
Phone: 517-702-0470 Fax: 517-702-0477
www.triterra.us

Revisions:

DATE: 7/14/2024

PREPARED BY: JWL

REVIEWED BY: GJ

PROJECT NO.: 24-3721

SHEET NO.

C-01

APPLICANT:
Walters-Dimmick Petroleum, Inc.
1620 S Kalamazoo Ave
Marshall, MI 49068

OWNER:
Walters-Dimmick Petroleum, Inc.
1620 S Kalamazoo Ave
Marshall, MI 49068



SAFETY IS IN YOUR HANDS.
EVERY DIG. EVERY TIME.

Revisions:
APPROVED PER P&W COMMENTS

URBANDALE SHELL
SITE REDEVELOPMENT
1439 W MICHIGAN AVE, BATTLE CREEK, MI 49037
DEMOLITION PLAN

DATE: 7/14/2024

PREPARED BY: JWL

REVIEWED BY: GJ

PROJECT NO.:
24-3721

SHEET NO.

C-03

DEMOLITION NOTE KEY

- 1 REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATIONS
- 2 REMOVE ALL ON-SITE ASPHALT PAVEMENT
- 3 REMOVE ALL ON-SITE CONCRETE PAVEMENT
- 4 REMOVE EXISTING LIGHT POLE
- 5 REMOVE EXISTING ON-SITE STORM PIPE AND STRUCTURES
- 6 REMOVE EXISTING ON-SITE WATER SERVICE
- 7 REMOVE EXISTING ON-SITE SANITARY LEAD FROM BLDG TO CLEAN-OUT
- 8 PROTECT EXISTING UTILITY POLE
- 9 REMOVE EXISTING DRIVE APPROACH IN PUBLIC RIGHT-OF-WAY

UTILITY DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SCHEDULE ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES WITH THE OWNER, UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
- GAS SERVICE REMOVAL TO BE COORDINATED WITH UTILITY OWNER.
- TELECOM CONNECTION REMOVAL TO BE COORDINATED WITH UTILITY OWNER.
- RELOCATION AND/OR REMOVAL OF UTILITY POLES TO BE PERFORMED BY UTILITY OWNER.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL MINIMIZE SOIL EROSION ONTO ADJOINING PROPERTY AND RIGHT OF WAYS. NO CONSTRUCTION ACTIVITIES SHALL COMMENCE UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. EROSION MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON ALL UNPAVED AREAS.
- CONTRACTOR SHALL PROVIDE A SAWCUT EDGE FOR ALL PAVEMENT REMOVALS.
- CONTRACTOR SHALL LEGALLY DISPOSE OF ALL SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, DEMOLISHED MATERIALS, AND WASTE MATERIALS (INCLUDING TRASH AND DEBRIS) FROM SITE. MATERIALS SHALL NOT BE DISPOSED OF BY BURNING.
- SURPLUS AND DEMOLISHED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- IF SUSPECT CONTAMINATED SOIL, GROUNDWATER, OR OTHER UNKNOWN MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE TRITERRA IMMEDIATELY. SUSPECT CONTAMINATED SOIL MAY EXHIBIT CHEMICAL OR UNSOLID ODORS, STAINING, UNUSUAL COLORING, AND/OR CONTAIN WAXY/SLIMEY DEBRIS. COLORING AND/OR SHEEN IMMEDIATELY CEASE ALL EXCAVATION, DEWATERING, TRANSPORT OR DISTURBANCE OF THE SUSPECT MATERIAL UNTIL GIVEN DIRECTION BY TRITERRA.

EXISTING FEATURES LEGEND

- Set Bar & Cap #41103
- Found Survey Marker
- Survey Boundary Line
- Recorded Dimension (R)
- Measured Dimension (M)
- Distance Not to Scale
- Sanitary Manhole
- Sanitary Sewer Line
- Sewer Cleanout
- Storm Manhole
- Catchbasin
- Storm Sewer Line
- Fire Hydrant
- Water Valve
- Water Line
- Post
- Utility Pole
- Guy Pole
- Guy Wire
- Light Pole
- Electrical Transformer
- Overhead Wires
- Electric Meter
- Telephone Manhole
- Gas Meter
- Telephone Pedestal
- Fence
- Asphalt Surface
- Concrete Surface
- Gravel Surface

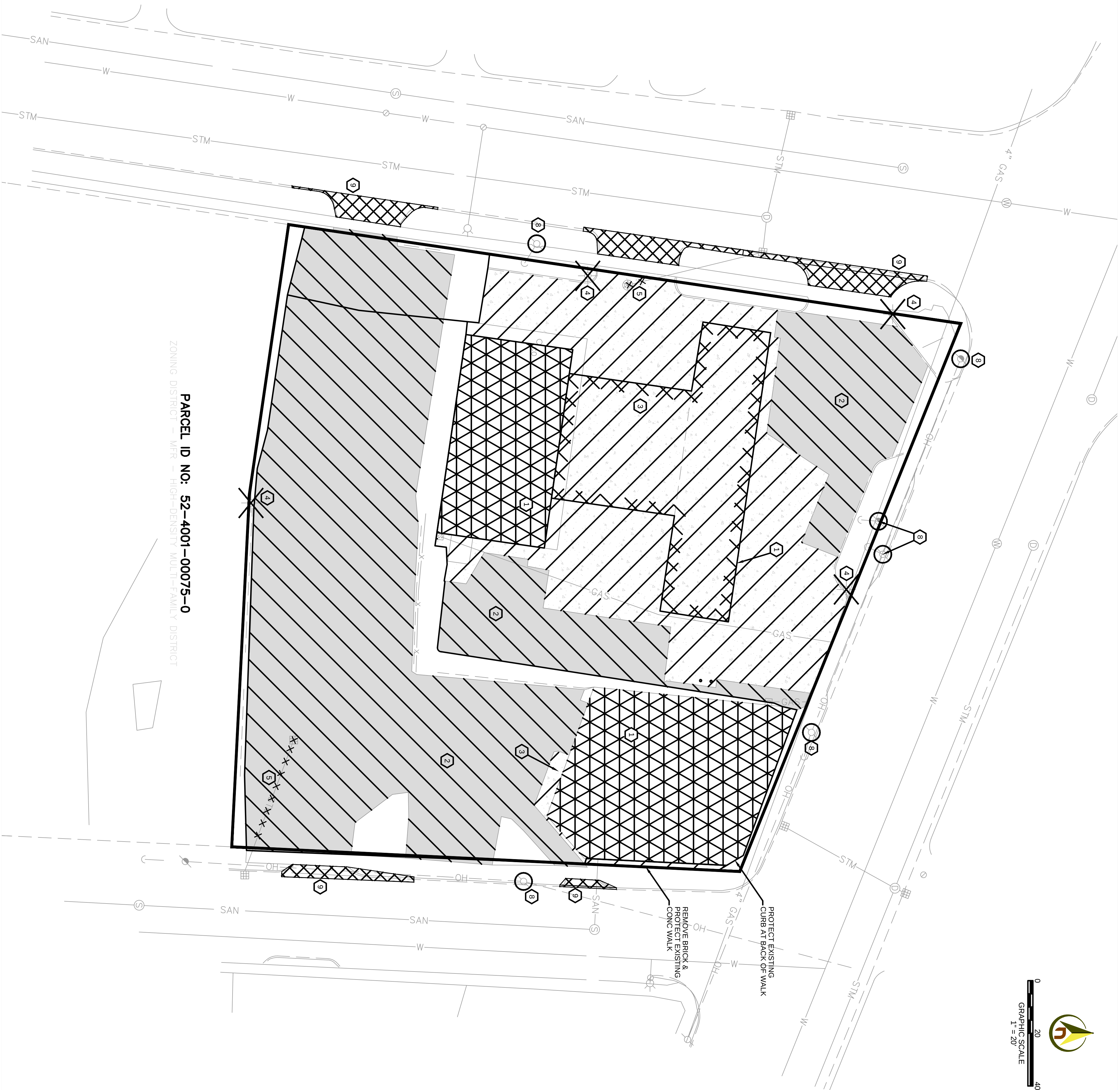
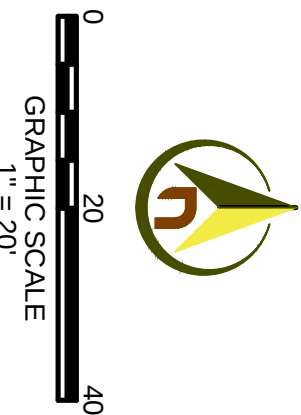
EXISTING STRUCTURE INVENTORY

SANITARY MANHOLE #1	SANITARY MANHOLE #2	SANITARY MANHOLE #3	SANITARY MANHOLE #4
RM= 823.01	RM= 823.60	RM= 823.55	RM= 823.55
6" CLAY S= 818.51	6" CLAY W= 818.35	6" CLAY W= 820.15	6" CLAY W= 818.30
4" CLAY W= 818.61	6" CLAY S= 816.25	6" CLAY S= 820.00	6" CLAY S= 818.40
SANITARY MANHOLE #5	STORM MANHOLE #1	CATCH BASIN #1A	CATCH BASIN #1B
RM= 827.35	RM= 823.83	RM= 823.42	RM= 823.15
6" CLAY S= 817.42	12" RCP W= 823.25	12" RCP W= 824.22	12" RCP W= 823.85
6" CLAY S= 817.13	12" RCP S= 823.25	12" RCP S= 824.22	12" RCP W= 823.85
12" RCP S= 817.13	12" RCP S= 823.47	12" RCP S= 824.22	12" RCP W= 823.85
CATCH BASIN #1C	STORM MANHOLE #2	STORM MANHOLE #3	STORM MANHOLE #4
RM= 823.43	RM= 827.31	RM= 823.54	RM= 823.39
12" RCP W= 823.73	16" RCP W= 820.25	16" RCP W= 819.74	16" RCP W= 818.44
12" RCP W= 823.73	16" RCP S= 820.16	16" RCP S= 819.74	12" RCP W= 823.72
12" RCP W= 823.73	12" RCP S= 820.16	12" RCP S= 819.74	12" RCP W= 823.72
CATCH BASIN #1A	CATCH BASIN #1B	CATCH BASIN #1C	CATCH BASIN #1D
RM= 823.10	RM= 823.12	RM= 827.78	RM= 827.77
12" RCP W= 823.10	12" RCP S= 823.12	12" RCP S= 827.78	12" RCP S= 827.77

BENCHMARK NOTES

SITE BENCHMARK #1: TOP OF THE SOUTHWESTERLY FLANGE
BOLT OF HYDRANT AT THE SE CORNER OF MICHIGAN AVENUE
& BOND AVENUE. ELEVATION= 830.53 NAVD88.

SITE BENCHMARK #2: TOP OF THE SOUTHEASTERLY FLANGE
BOLT OF HYDRANT, ±26 FEET NORTH OF ENTRANCE TO
SPEED'S PARKING LOT, AND ±37 EAST OF THE CENTERLINE OF
BEHFOR ROAD. ELEVATION= 830.62 NAVD88



PARCEL ID NO: 52-4001-00075-0

ZONING DISTRICT: MPA - HIGH-DENSITY MEDIUM-FAMILY DISTRICT

Revisions:

**URBANDALE SHELL
SITE REDEVELOPMENT**

1439 W MICHIGAN AVE, BATTLE CREEK, MI 49037

LAYOUT PLAN

DATE: 7/23/2024

PREPARED BY: JWL

REVIEWED BY: GJ

PROJECT NO.: 24-3721

SHEET NO.

PARCEL DATA:

ADDRESS:
1439 W. MICHIGAN AVENUE
BATTLE CREEK, MI 49037

PARCEL NO:
4000-00-040-0 & 4000-00-036-0

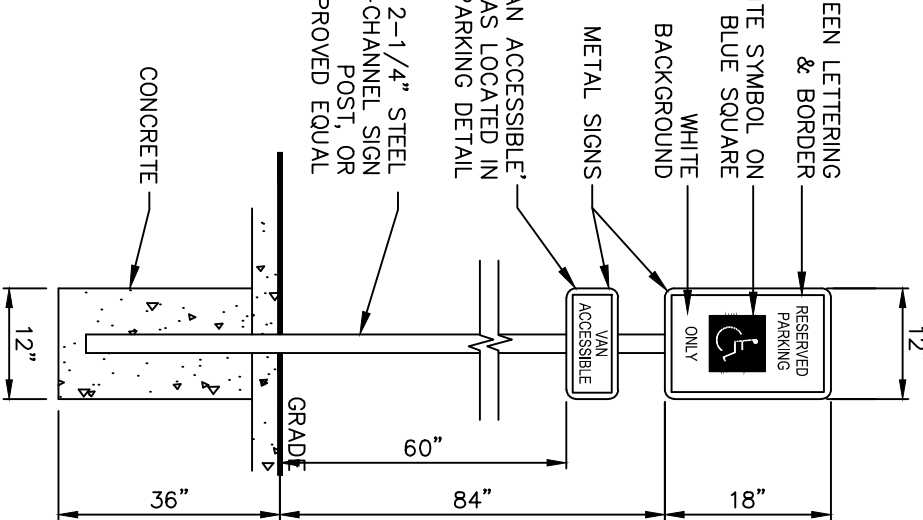
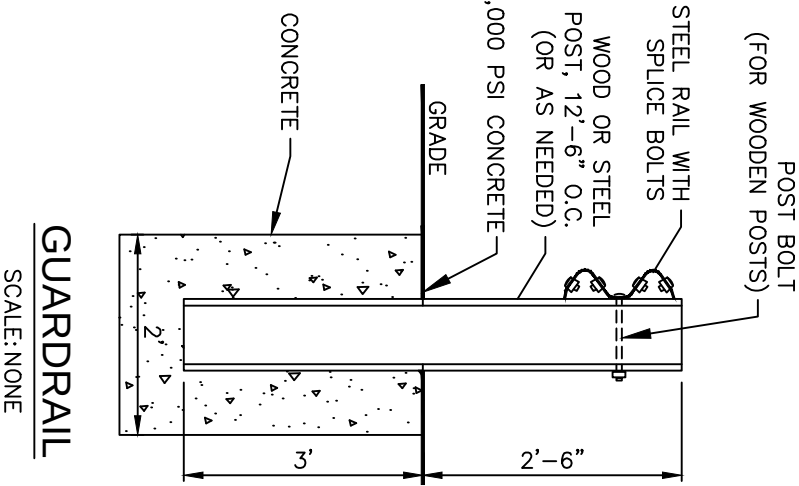
ZONING DATA:
ZONING: B-1 (CORRIDOR COMMERCIAL)

SETBACKS:
FRONT: 20'
SIDE: 15'
REAR: 15'

PARKING:
REQUIRED: 0.5 SPACES/150 SFT UFA = 16
1 SPACE / 5 ON-SITE SEATS = 4
32 SPACES PROVIDED
24 SPACES REQUIRED
*INCLUDES 2 ADA VAN ACCESSIBLE

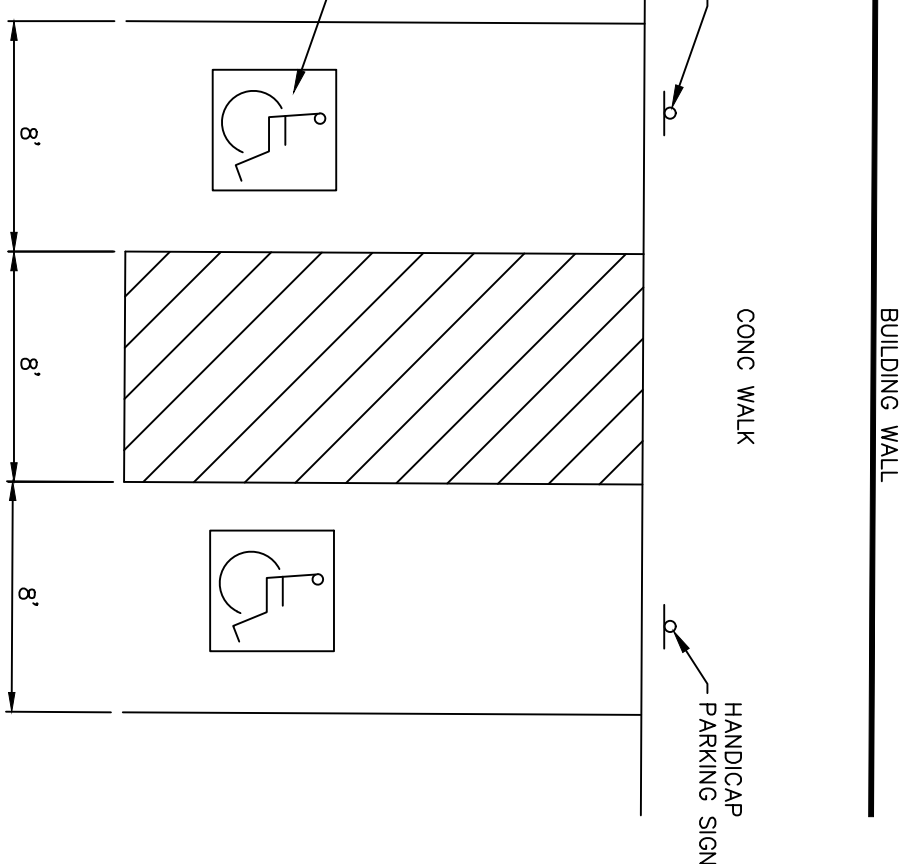
LAYOUT NOTE KEY

- 1 INTEGRAL CONCRETE CURB AND WALK
- 2 CONCRETE PAVEMENT
- 3 ASPHALT PAVEMENT
- 4 CONIC DRIVE OPENING
- 5 CONIC TANK FARM PAD
- 6 STEEL PIPE BOLLARD
- 7 FUEL DISPENSER ISLAND
- 8 5X5 CONCRETE COLLAR AROUND PROPOSED CATCH BASINS
- 9 24" WIDE x 6" TALL CONCRETE CURB
- 10 A.D.A. ACCESSIBLE PARKING WITH SIGNAGE AND MARKINGS
- 11 10X20 STEEL TRASH ENCLOSURE, 6' TALL
- 12 WOODEN PRIVACY FENCE, 6' TALL
- 13 LANDSCAPED AREA, SEE LANDSCAPE PLAN SHEET C-6
- 14 DISPENSER CANOPY
- 15 4" WIDE YELLOW PAVEMENT MARKINGS
- 16 PROTECT EXISTING POWER POLE AND GUY WIRES
- 17 EXISTING POLE-MOUNTED SIGN TO REMAIN
- 18 REMOVE AND REPLACE EXISTING CURB & GUTTER TO ACCOMMODATE NEW DRIVES
- 19 17X8" CONCRETE PAD FOR KEROSENE DISPENSER
- 20 PROPOSED POLE-MOUNTED MIRADA SMALL AREA (MRS) OUTDOOR LED AREA LIGHT TO BE INSTALLED TO A HEIGHT OF 20' WITH A LIGHT SHIELD TO CUT OFF LIGHT TO ADJOINING PROPERTY. POLE TO BE WHITE WITH 2 CONCRETE BASE.
- 21 GUARDRAIL BETWEEN PARKING AND SIDEWALK



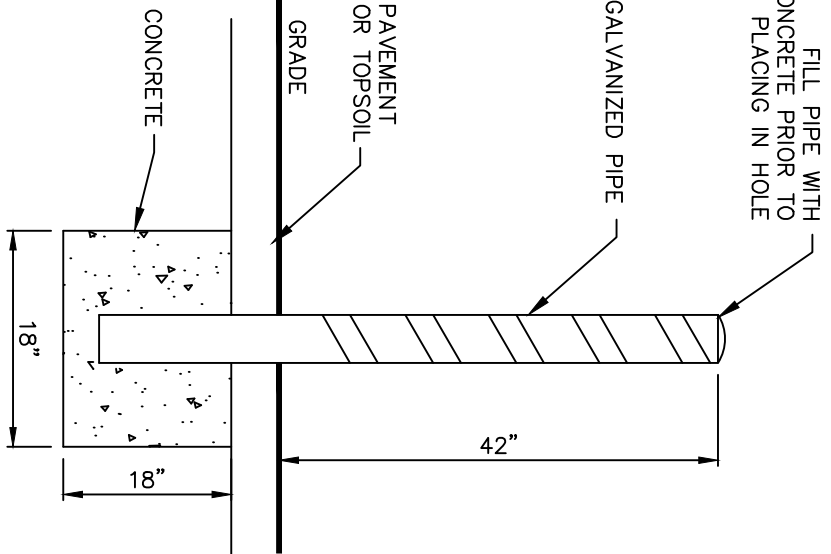
A.D.A. RAMP & PARKING DETAIL

SCALE: NONE



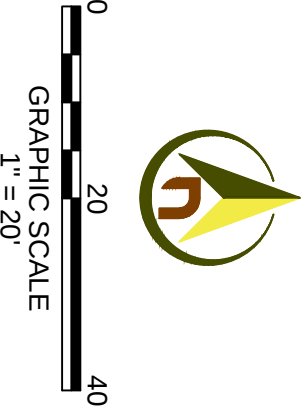
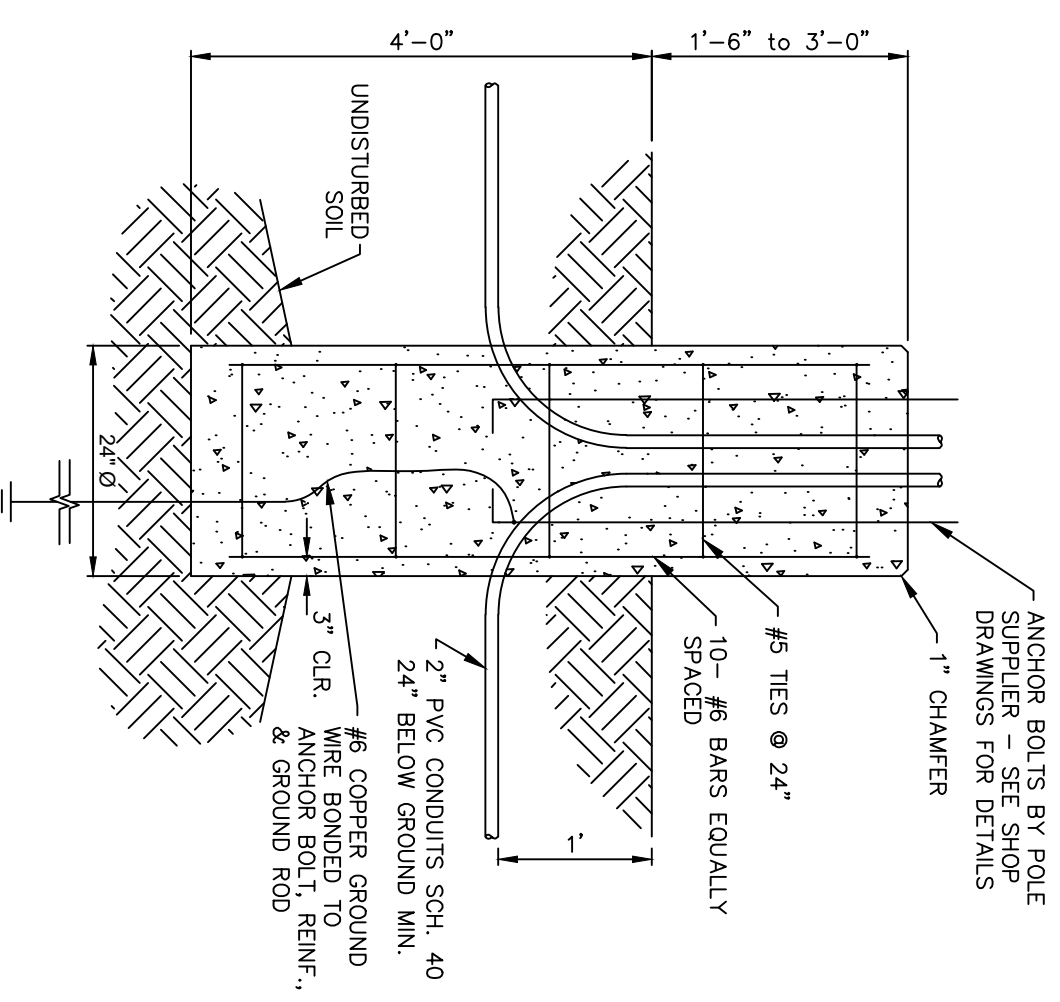
A.D.A. PARKING SIGN DETAIL

SCALE: NONE



LIGHT POLE BASE DETAIL

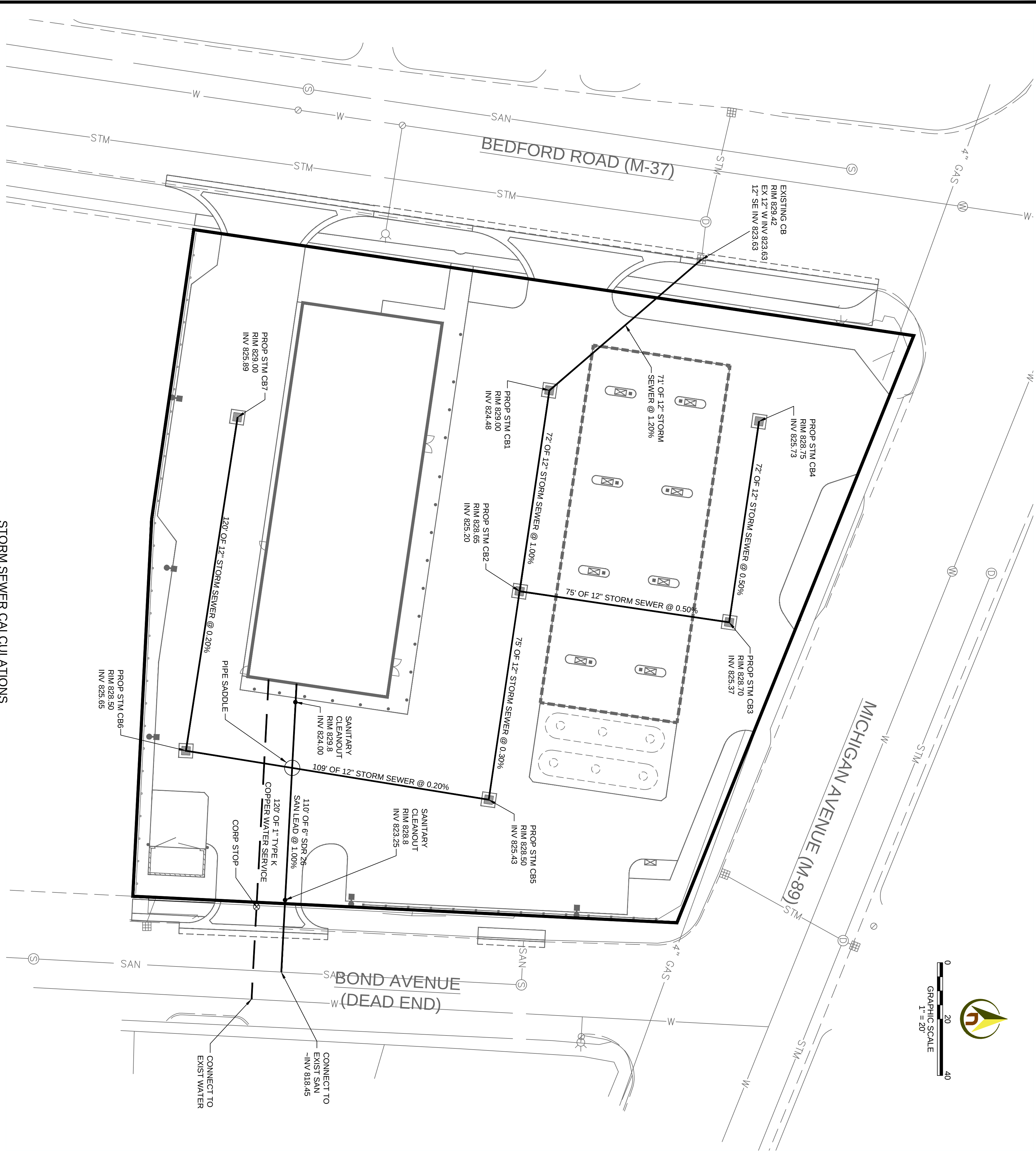
SCALE: NONE



SYMBOLS LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED WASHED STONE
- PARKING SPACE COUNT





STORM SEWER CALCULATIONS

FROM	TO	ACRES	AREA IMPERV	AREA PERV	RUNOFF COEFF	EQUIV. AREA A+C	ADDT. AREA A+C	SUM OF A+C	INTEN- SITY	RUNOFF (CFS)	PIPE LENGTH (LF)	PIPE DIA. (IN)	VELOCITY FULL (FPS)	HYDRAULIC GRADE	ACTUAL SLOPE	USED CAPACITY	MANNINGS VELOCITY (FT/SEC)	MANNINGS TIME (MIN)	HG. ELEV. UPPER	HG. ELEV. LOWER	RIM ELEV. UPPER	RIM ELEV. LOWER	INVERT UPPER	INVERT LOWER
CB2	to	CB1	0.13	0.11	0.02	0.79	0.11	0.94	4.09	3.85	71	12	4.90	1.99%	1.20%	3.91	4.98	0.24	825.84	824.43	829.00	824.48	823.63	824.48
CB1	to	CB2	0.14	0.14	0.00	0.90	0.13	0.71	4.09	3.42	72	12	4.35	1.57%	1.00%	3.57	4.55	0.26	826.41	825.28	828.65	825.20	824.48	825.20
CB2	to	CB5	0.19	0.16	0.03	0.78	0.15	0.30	4.09	1.81	75	12	2.31	0.44%	0.30%	1.96	2.49	0.50	826.33	826.00	828.50	825.43	825.65	825.43
CB5	to	CB6	0.23	0.20	0.03	0.80	0.18	0.11	4.09	1.21	109	12	1.54	0.20%	0.20%	1.80	2.03	0.89	826.45	826.23	828.50	825.65	825.65	825.43
CB6	to	CB7	0.14	0.12	0.02	0.80	0.11	0.00	4.09	0.46	120	12	0.36	0.03%	0.20%	1.80	2.03	0.98	826.69	826.45	829.00	823.69	823.65	823.65
CB2	to	CB3	0.15	0.14	0.01	0.86	0.13	0.13	4.09	1.08	75	12	1.37	0.16%	0.50%	2.53	3.22	0.39	826.38	826.00	828.70	825.58	825.20	825.20
CB3	to	CB4	0.17	0.14	0.03	0.79	0.13	0.00	4.09	0.55	72	12	0.70	0.04%	0.50%	2.53	3.22	0.37	826.74	826.38	828.75	825.94	825.58	825.58

NOTES: STORM SEWER DESIGNED TO CONVEY 25-YEAR STORM EVENT.

GENERAL UTILITY NOTES

1. ALL UNDERGROUND PUBLIC UTILITY INFORMATION PROVIDED BY OWNER OF SAID UTILITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL SCHEDULE ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES WITH THE OWNER. UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
4. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
5. PROPOSED BUILDING TO BE SERVED BY EXISTING CITY OF BATTLE CREEK WATER AND SANITARY SEWER CONNECTIONS.
6. UNDERGROUND POWER LINE LOCATIONS TO SIGNS, LIGHT POLES AND OTHER ACCESSORIES TO BE DETERMINED IN THE FIELD.
7. GAS CONNECTION TO BE DETERMINED IN THE FIELD AND COORDINATED WITH UTILITY OWNER.
8. TELECOM CONNECTION TO BE DETERMINED IN THE FIELD AND COORDINATED WITH UTILITY OWNER.
9. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION.
10. WATER AND SEWER PRESSURE TESTS MUST BE WITNESSED BY THE CITY. THE CONTRACTOR MUST SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS IN ADVANCE FOR INSPECTIONS THEREOF.
11. ABANDONMENT OF EXISTING WATER AND SEWER MUST BE WITNESSED BY THE CITY.

STORM SEWER NOTES

1. ALL STORM STRUCTURES SHALL BE 4' PRECAST CONCRETE STRUCTURES UNLESS OTHERWISE NOTED.
2. ALL MANHOLE FRAMES & COVERS SHALL BE E.I.W #1000 WITH TYPE B COVER, UNLESS OTHERWISE NOTED.
3. ALL CATCH BASIN GRATES WITHIN PAVED AREAS SHALL BE E.I.W #510 WITH TYPE M-3 GRATE, UNLESS OTHERWISE NOTED.
4. ROOF DRAIN LATERALS SHALL BE 8" SCH 40 PVC @ 1.00%. CONNECT TO CATCH BASINS IN REAR OF BUILDING.
5. ADJUSTMENTS TO STORM SEWER STRUCTURE RIM ELEVATIONS SHALL UTILIZE GRADE RINGS PER ASTM C478.
6. ALL STORM PIPE TO BE MDOT CLASS IV RCP, UNLESS OTHERWISE NOTED.

SANITARY SEWER NOTES

1. SANITARY SEWER SHALL BE CONSTRUCTED TO CITY OF BATTLE CREEK STANDARDS.
2. A REPRESENTATIVE OF THE CITY OF BATTLE CREEK TO APPROVE CONNECTION TO THE EXISTING SANITARY LEAD.
3. TRACER WIRE TO BE PROVIDED ON ALL PLASTIC SERVICE LINES.
4. SANITARY SEWER CONNECTION AT RIGHT-OF-WAY MUST BE WITNESSED BY THE CITY. THE CONTRACTOR MUST SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS IN ADVANCE FOR INSPECTIONS THEREOF.

WATER SERVICE NOTES

1. WATER SERVICE SHALL BE CONSTRUCTED TO CITY OF BATTLE CREEK STANDARDS.
2. WATER SERVICE TO MAINTAIN MINIMUM 5' OF COVER.
3. CONNECTION TO THE WATERMAIN AT THE VALVE BOX MUST BE WITNESSED BY THE CITY. THE CONTRACTOR MUST SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS IN ADVANCE FOR INSPECTIONS THEREOF.

FRANCHISE UTILITY NOTES

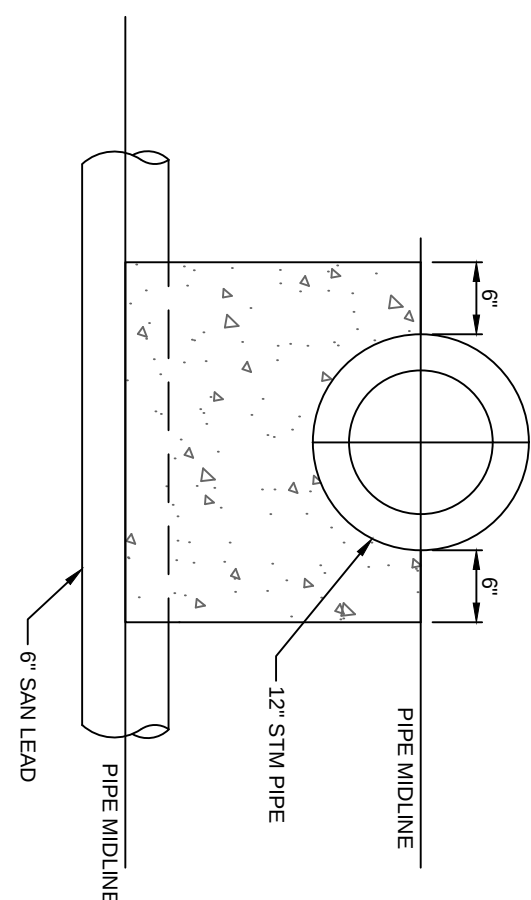
1. ELECTRIC, GAS, AND COMMUNICATIONS SERVICES SHALL BE LOCATED IN THE FIELD.
2. RELOCATION AND/OR REMOVAL OF UTILITY POLES TO BE PERFORMED BY UTILITY OWNER.

STRUCTURE INVENTORY

SANITARY MANHOLE #1	SANITARY MANHOLE #2	SANITARY MANHOLE #3	SANITARY MANHOLE #4
RIM = 829.01 8" CLAY SL 818.51 4" CLAY SL 818.25 4" CLAY SL 818.00	RIM = 829.00 8" CLAY SL 818.25 8" CLAY SL 818.00	RIM = 828.55 8" CLAY SL 818.50 8" CLAY SL 818.00	RIM = 828.55 8" CLAY SL 818.50 8" CLAY SL 818.00
SANITARY MANHOLE #5	STORM BASIN #1A	CATCH BASIN #1A	CATCH BASIN #1B
RIM = 828.93 12" RCP IN = 828.73	18" RCP SL = 823.15 12" RCP SL = 823.25 12" RCP SL = 824.22	18" RCP SL = 823.15 12" RCP SL = 823.25 12" RCP SL = 824.22	18" RCP SL = 823.15 12" RCP SL = 823.25 12" RCP SL = 824.22
CATCH BASIN #1C	STORM MANHOLE #2	STORM MANHOLE #3	STORM MANHOLE #4
RIM = 829.03 12" RCP IN = 828.73	RIM = 827.31 12" RCP SL = 820.26 18" RCP SL = 820.16	RIM = 829.84 18" RCP SL = 819.74	RIM = 829.39 18" RCP SL = 819.44 18" RCP SL = 819.34 12" RCP SL = 822.40
CATCH BASIN #4A	CATCH BASIN #4B	CATCH BASIN #4C	CATCH BASIN #4D
RIM = 829.10 12" RCP IN = 828.92	RIM = 829.12 12" PVC SL = 825.92	RIM = 827.78 12" RCP IN = 827.58 12" RCP IN = 827.48	RIM = 827.77 12" RCP IN = 827.57 12" RCP IN = 827.47

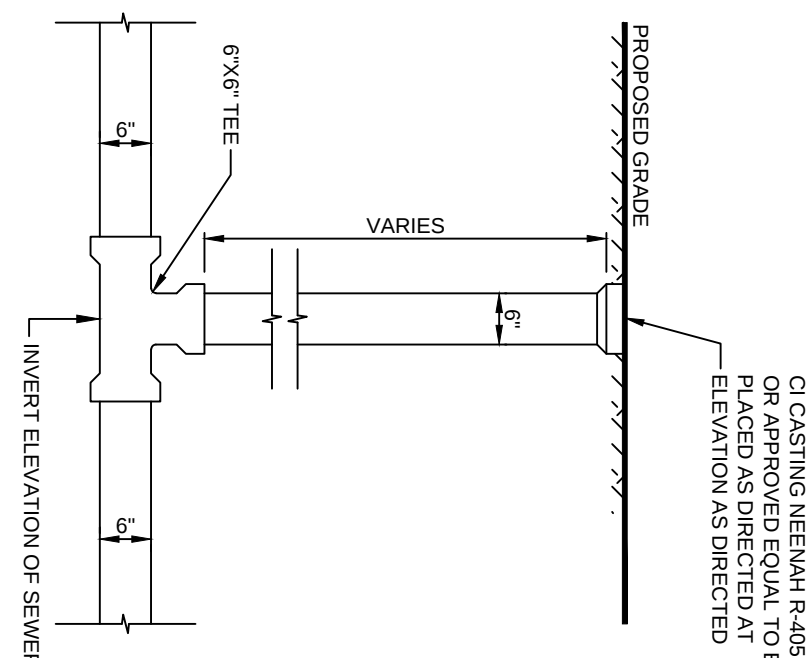
CONC PIPE SADDLE DETAIL

SCALE: NONE



SANITARY CLEANOUT DETAIL

SCALE: NONE



- NOTES:
1. THE TILE OR PIPE FOR THE INCLINED EXTENSION FOR CLEANOUT SHALL BE 6\"/>
 2. TO LOCATE WITH A METAL DETECTOR.

CALHOUN COUNTY STORMWATER MGMT TRM CALCULATIONS SUMMARY

Summary		CB#1A (Bedford Rd)
Outlet ID		1.19
Total Average (cfs)		0.90
Weighted C-Proposed Conditions		90
Time of Concentration (hr)		0.12
Time of Concentration (hrs) (hr)		0.11
Water Quality (WQ) Volume (ft ³)		3,462
Channel Protection (CP) Volume (ft ³)		621
Infiltration Volume (ft ³) - Required		3,462
Infiltration Volume (ft ³) - Provided		0
25 Year Peak Allowable Discharge (cfs)		6.77
25 Year Flood Protection (ft) Volume (ft ³)		-1,137
25 Year TOTAL BASIN VOLUME (ft ³) - Pre vs Post		-1,137
25 Year TOTAL BASIN VOLUME (ft ³) - Restricted Outlet		N/A
25 Year Volume (ft ³) - REQUIRED (net of infiltration)		-1,137



1305 South Washington, Suite 102, Lansing, MI 48910
Phone: 517-702-0470 Fax: 517-702-0477
www.triterra.us

Revisions:

URBANDALE SHELL
SITE REDEVELOPMENT
1439 W MICHIGAN AVE, BATTLE CREEK, MI 49037
UTILITY PLAN

DATE: 7/23/2024

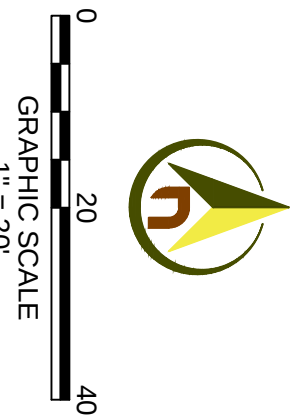
PREPARED BY: JWL

REVIEWED BY: GJ

PROJECT NO.:
24-3721

SHEET NO.

C-05



PLANTING SCHEDULE

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SPACING	NOTES
	1	Ginkgo	Ginkgo biloba (Male)	20'	B&B, 2" Caliper
	4	Douglas Fir	Pseudotsuga menziesii	16'	B&B, 6 Height
	10	Chamlicee Pear	Pyrus calleryana 'Chamlicee'	10'	B&B, 2" Caliper
	20	Bluechip Juniper	Juniperus horizontalis	4-5'	#3 Container
		2"-5" River rock, Minimum 3" thickness. Install over filter fabric.			

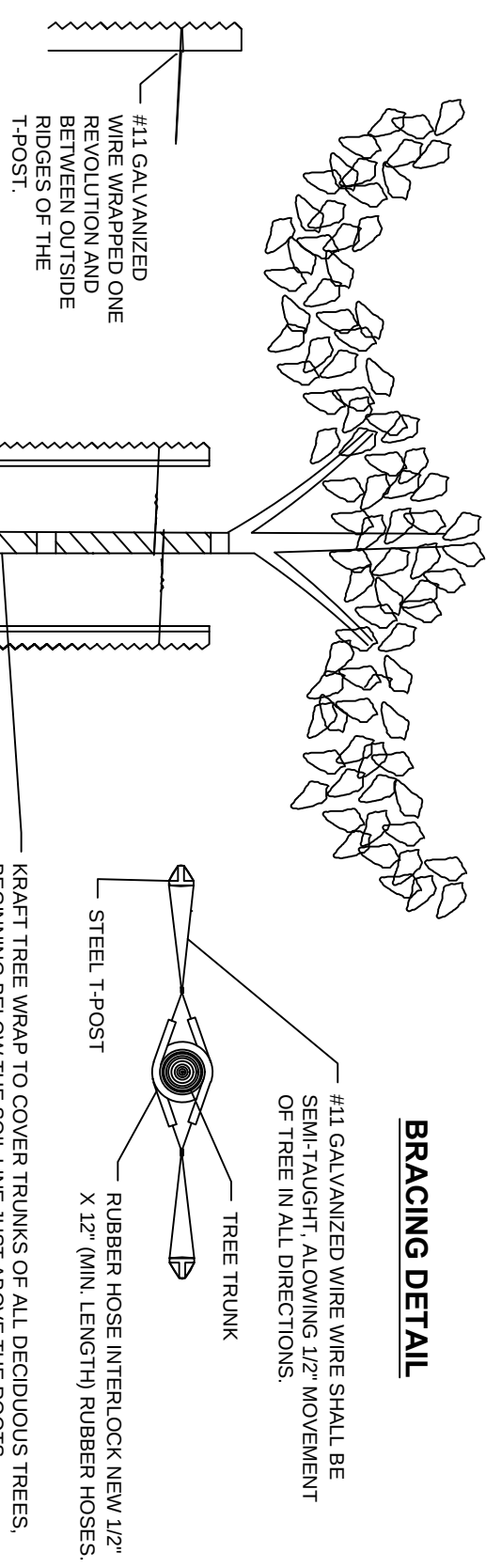
LANDSCAPE REQUIREMENTS

PLANTING STRIP PROVIDED:	371 FT
REQUIRED TREES (371/190):	13 TREES
PROVIDED TREES:	15 TREES
REQUIRED SHRUBS (371/190):	13 SHRUBS
PROVIDED SHRUBS:	20 SHRUBS

LANDSCAPE NOTES

- REMOVE FROM THE SITE ANY PLANT MATERIAL THAT TURNS BROWN OR DEQUALATES WITHIN FIVE (5) DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED, SPECIFIED MATERIAL.
- PLANT MATERIAL QUANTITIES SHOWN ON PLAN ARE MINIMUM QUANTITIES. ADDITIONAL MATERIAL MAY BE NEEDED TO MEET SPACING REQUIREMENTS AND FIELD CONDITIONS.
- SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES THAT ARE NOT OTHERWISE NOTED TO RECEIVE PAVEMENT PLANTING.
- ALL TREES TO BE PLANT AND WITH A STRONG CENTRAL LEADER.
- VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. REPAIR ALL DAMAGED UTILITIES TO OWNERS SATISFACTION AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWN UNTIL THE PROJECT IS FULLY ACCEPTED BY THE OWNER.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE CALENDAR YEAR AFTER FINAL ACCEPTANCE.

BRACING DETAIL



STEEL T-POSTS SPACED TO AVOID ROOT BALL. INSTALL IN VERTICAL POSITION.

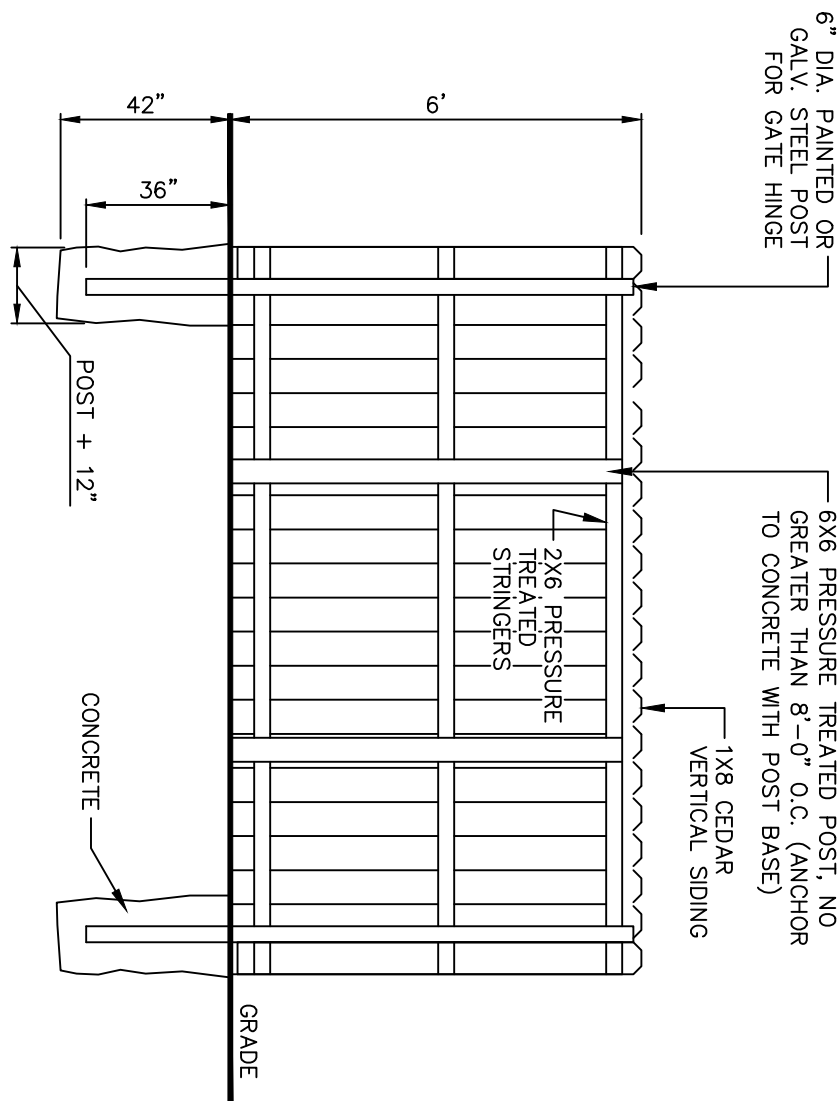
TOP OF ROOT BALL SHOULD BE SET AT OR SLIGHTLY HIGHER THAN SURROUNDING GRADE.

GRAFT TREE WRAP TO COVER TRUNKS OF ALL DECIDUOUS TREES, BEGINNING BELOW THE SOIL LINE JUST ABOVE THE ROOTS. WRAP WITH MINIMUM 2" WIDE MASKING TAPE IN FIVE PLACES, INCLUDING TOP & BOTTOM OF WRAPPING. MASKING TAPE SHALL BE USE OF TWINE, WIRE, OR DUCT TAPE WILL NOT BE ALLOWED.

BRACE DECIDUOUS TREES 2" TO 4" IN CALIPER OR 8" OR MORE IN HEIGHT, AND EVERGREENS 8" OR UNDER IN HEIGHT WITH TWO STAGES IN HEIGHT WITH ONE STAKE ON THE WESTERLY SIDE OF THE PLANT.

4" MINIMUM GULCH TO COVER ENTIRE PLANTING HOLE. TAPEOR MULCH TO TRUNK, IN SIDEWALK PLANTINGS, MULCH ENTIRE TREE PIT OPENING, PAID FOR AS MUCH MODIFIED.

TREE PLANTING BACKFILL PREPARED SOIL TO BE 40% GRADE A TOPSOIL, 30% SAND, 30% SLOTTED DRUMS. TREAT WITH MYCORRHIZA INOCULANT TO SATURATE BACKFILL AND ROOT BALL DURING PLANTING. PREPARED SOIL INCLUDED IN ITEM "SITE PREPARATION, MODIFIED".



WOODEN FENCE DETAIL

TREE PLANTING DETAIL



1305 South Washington, Suite 102, Lansing, MI 48910
Phone: 517-702-0470 Fax: 517-702-0477
www.triterra.us

Revisions:

URBANDALE SHELL
SITE REDEVELOPMENT
1439 W MICHIGAN AVE, BATTLE CREEK, MI 49037
LANDSCAPE PLAN

DATE: 7/23/2024

PREPARED BY: JWL

REVIEWED BY: GJ

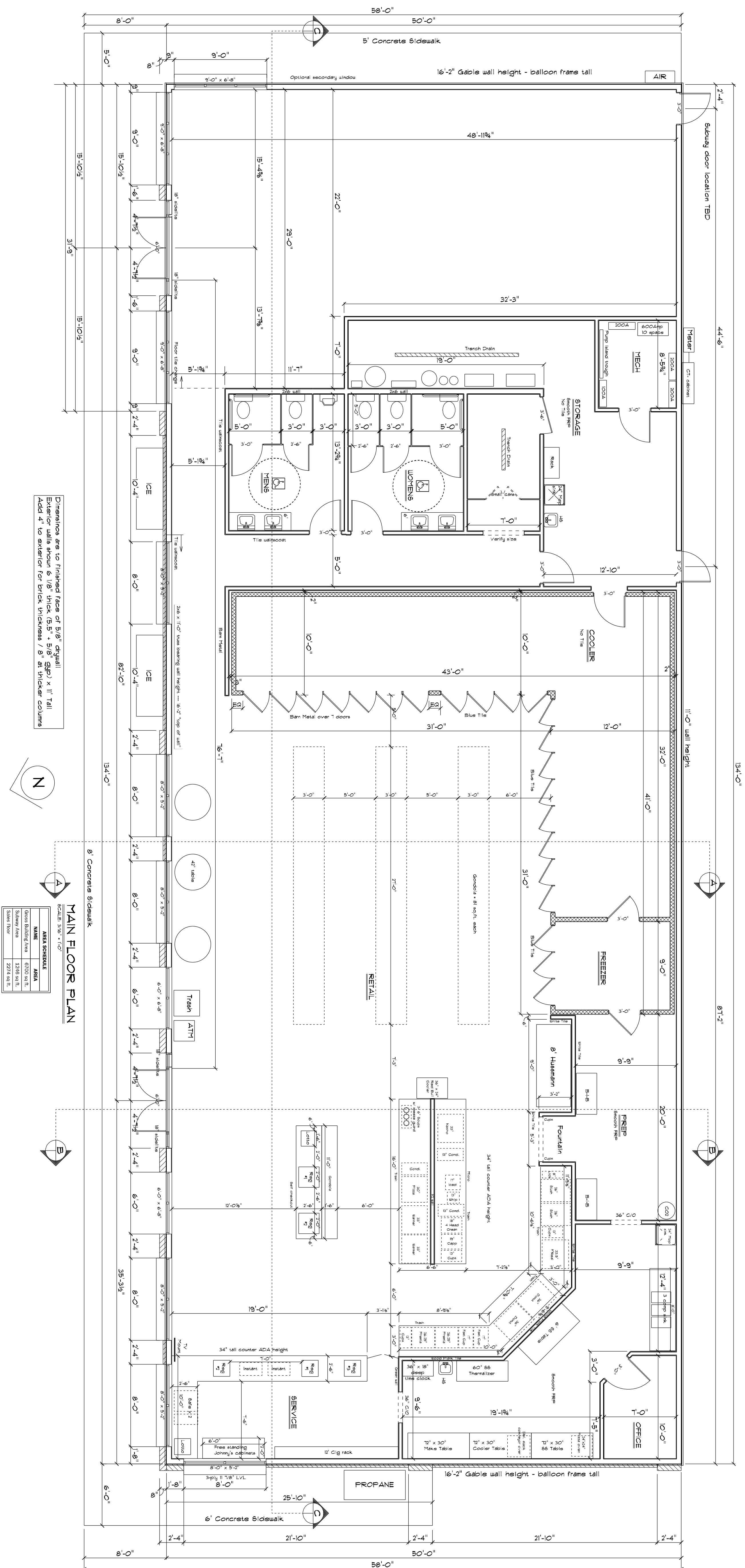
PROJECT NO.: 24-3721

SHEET NO.

C-07

SCALE: 3/16" = 1'-0"

UDP
Urbandales



SCALE: 3/16" = 1'-0"

ARCHITECT
FRANK MASON AND ASSOCIATES

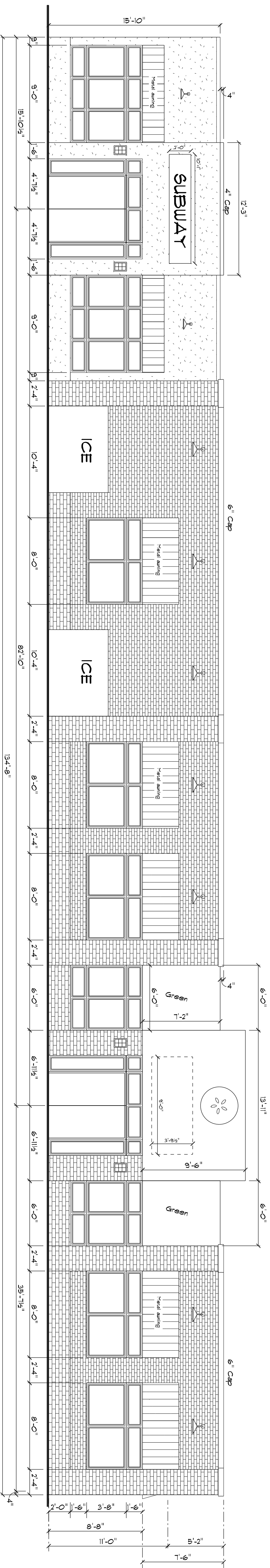
MARSHALL, MI 49068
(269) 788-7974
(269) 209 5842

Revision/Issue	Date

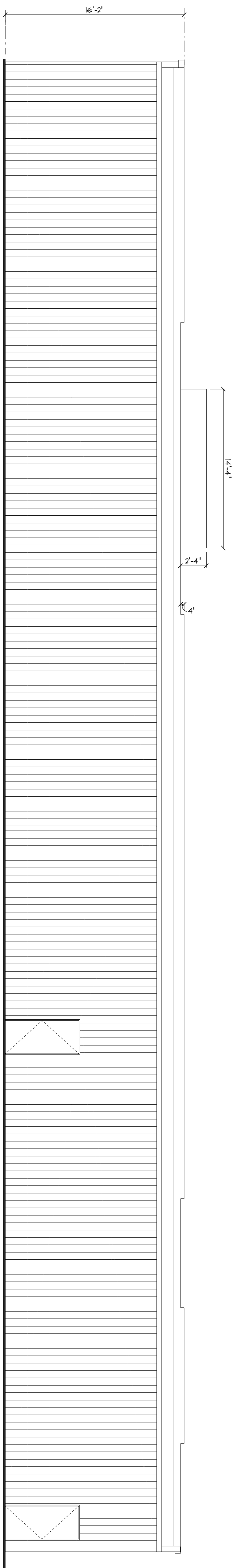
Rev/Is on/Issue	Date

ARCHITECT
FRANK MASON AND ASSOCIATES

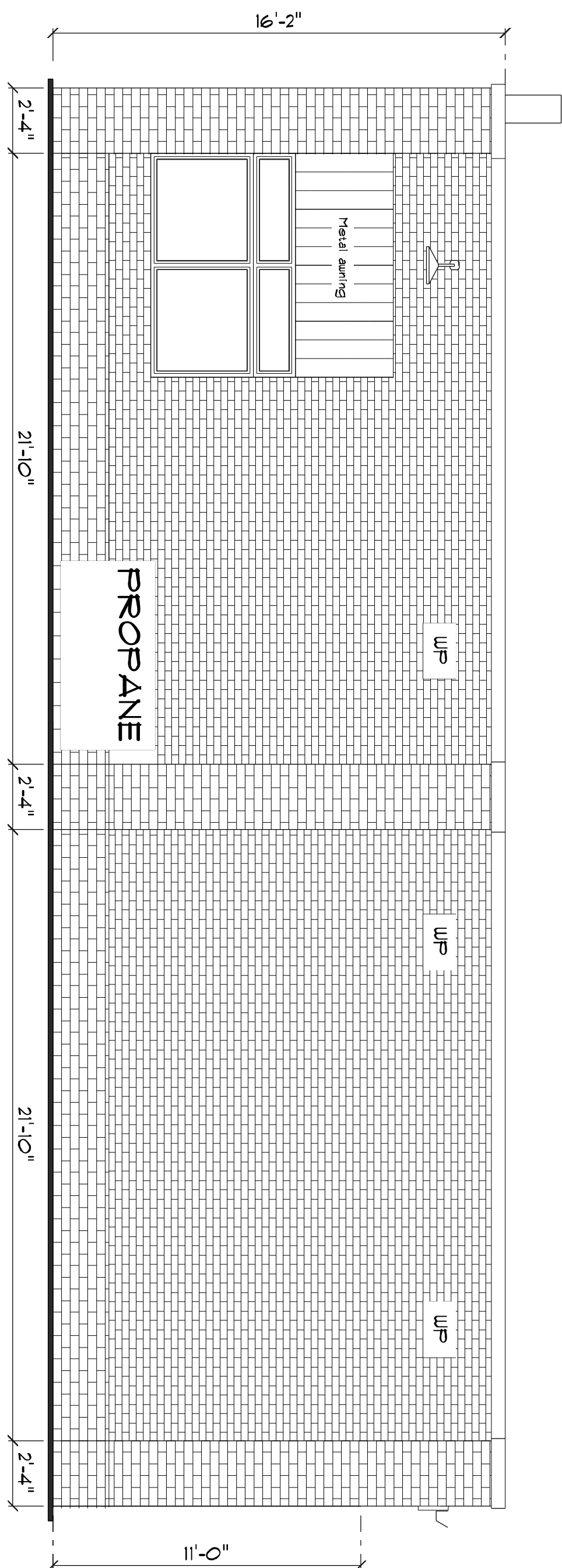
MARSHALL, MI 48068
(269) 788-7914
(269) 209 5842



NORTH ELEVATION
3/16" SCALE 1"=0'

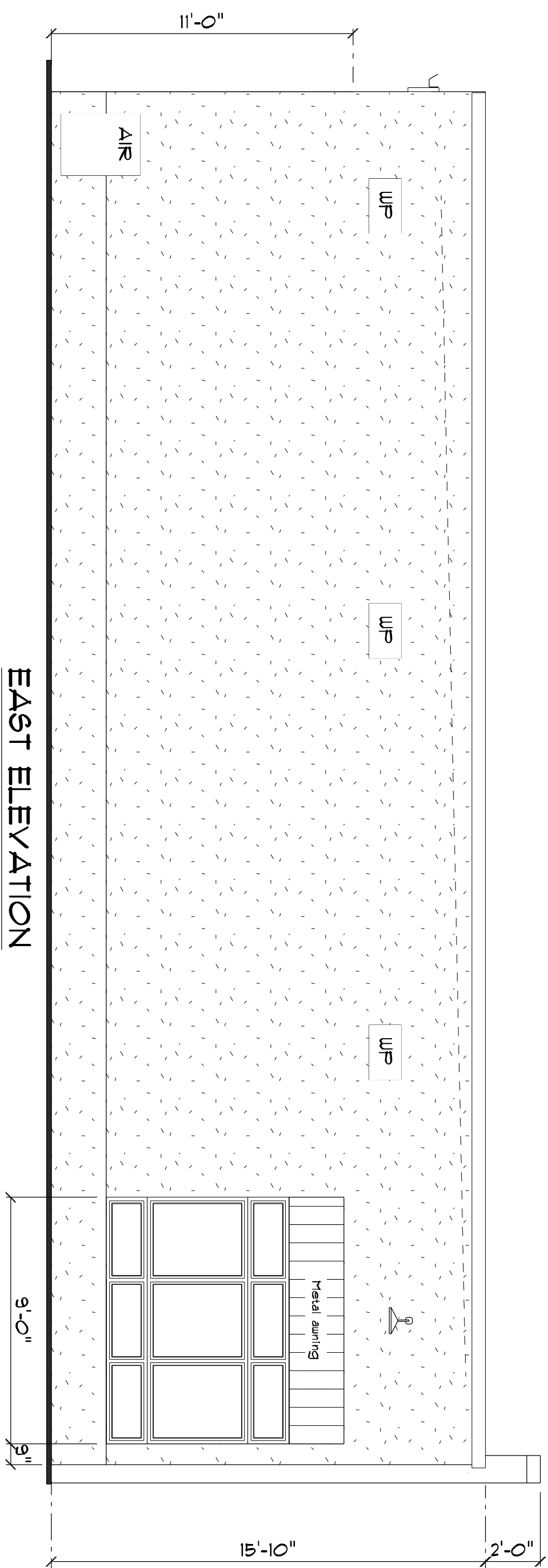


SOUTH ELEVATION
SCALE: 3/16" = 1'-0"
3/16" SCALE



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"
1/4" SCALE